PRIMROSE SCHOOL

ROGERS, ÅRKANSAS

arge Scale Development Plan

GENERAL NOTES TO CONTRACTOR

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- 4. PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- 6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE
- ASSOCIATED WITH CONSTRUCTION ACTIVITIES. 7. CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE
- CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES. 8. CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- 9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 10. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI. 11. DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR
- 13. ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS. 14. ACCORDING TO CITY CODE: IT SHALL BE UNLAWFUL FOR ANY PERSON, FIRM OR CORPORATION TO OCCUPY THE IMPROVEMENTS MADE PURSUANT TO THE APPROVED LARGE-SCALE DEVELOPMENT PLAN WITHOUT FIRST OBTAINING A CERTIFICATE OF OCCUPANCY. FAILURE TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE A MISDEMEANOR PUNISHABLE BY A FINE NOT TO EXCEED \$250 PER DAY THAT SAID VIOLATION EXISTS.

STANDARD CITY COMMENTS

- DRAINAGE IMPROVEMENTS MUST BE COMPLETED AND CERTIFIED BY THE ENGINEER OF RECORD, BATES & ASSOCIATES, WITH ALL DITCHES AND BASINS SOLID-SODDED, CONCRETE-LINED, OR UNDERGROUND CONDUIT INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. EROSION CONTROL METHODS MUST BE USED DURING CONSTRUCTION.
- THE DEVELOPER MUST OBTAIN AN OFF-SITE DRAINAGE EASEMENT FOR ALL AREAS OF DISCHARGE PRIOR TO THE FIRST INSPECTION BY THE ROGERS
- THE ENTIRE FACILITY MUST COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
- PROVIDE THE CITY PLANNER WITH A COPY OF THE APPROVAL FROM AHTD TO DISCHARGE STORM WATER INTO THEIR SYSTEM PRIOR TO THE FIRST INSPECTION BY THE ROGERS STREET DEPARTMENT.
- THE CITY OF ROGERS WILL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY DETENTION POND.
- ENGINEER TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ROGERS PLANNING DEPARTMENT PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL PHASE 1 EROSION CONTROL MUST BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING AND A REDUCED SET OF CONSTRUCTION PLANS (11" X 17")
- THE PERSON FINANCIALLY RESPONSIBLE FOR THE PROJECT MUST OBTAIN A GRADING PERMIT INCLUDING A COPY OF THE NOI, A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN, AND A COPY OF THE GRADING AND EROSION CONTROL PLAN.
- A GRADING PERMIT WILL NOT BE ISSUED UNTIL THE PLANNING COMMISSION HAS APPROVED THIS LARGE SCALE DEVELOPMENT PLAN. PERMIT REQUIREMENTS ARE AVAILABLE AT THE PLANNING OFFICE.
- IF MORE THAN SEVEN (7) SIGNIFICANT TREES ARE TO BE REMOVED, THE DEVELOPER MUST SUBMIT A TREE PROTECTION OR REPLACEMENT PLAN. THE REPLACEMENT PLAN MUST SHOW 1 TREE FOR EVERY 5 TREES REMOVED IN THE DISTURBED AREA. TREES REMOVED FROM A NON-CONSTRUCTION AREA MUST BE REPLACED AT 5 TREES FOR EVERY 1 TREE REMOVED.
- 10. A PERIMETER BUFFER STRIP SHALL BE TEMPORARILY MAINTAINED AROUND THE DISTURBED AREA. THE MINIMUM WIDTH FOR THE BUFFER STRIP IS 25' WITH A MAXIMUM WIDTH OF 40'.
- PROVIDE A SOILS REPORT SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO BE INCLUDED WITH THE BUILDING PERMIT APPLICATION.
- PROVIDE THE BUILDING OFFICIAL AND CITY PLANNER WITH COMPACTION TESTS FOR ALL PONDS AND FILL AREAS. 13. THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY UPSTREAM OR DOWNSTREAM FLOODING AS A DIRECT RESULT OF THIS DEVELOPMENT.
- LANDSCAPING MUST BE INSTALLED AND A THREE-YEAR GUARANTEE SUBMITTED ON PLANT REPLACEMENT OR A LETTER OF CREDIT POSTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. MINIMUM SIZE OF SHRUBS IS FIVE GALLONS, FOR SHADE TREES IT IS 2 1/2" B & B, AND FOR ORNAMENTAL TREES IT IS 1 ½" B & B.
- 15. IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE WITH THE UTILITIES REGARDING PLANTS IN THE UTILITY EASEMENT.
- TREES ARE REQUIRED IN THE FRONT LANDSCAPE BUFFER NOT LESS THAN 20 FEET APART. 17. SIDEWALKS MUST BE 5 FEET IN WIDTH AND RAMPED AT ALL CURB CUTS TO MEET ADA AND AHTD SPECIFICATIONS AND INSTALLED THE FULL WIDTH OF THE PROPERTY OR A LETTER OF CREDIT POSTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SIDEWALKS MUST MATCH ANY EXISTING SIDEWALKS IN THE AREA, INCLUDE TRUNCATED DOMES AT THE HANDICAP RAMPS AND BE LOCATED A MIN. OF 5 FEET BEHIND THE CURB. TWO HANDICAP RAMPS ARE REQUIRED AT EACH STREET RADIUS FOR ANY STREET THAT IS A COLLECTOR AND ABOVE.
- 18. ALL PARKING LOTS AND DRIVES MUST BE HARD SURFACED.
- 19. THE PROPOSED TRASH DUMPSTER MUST BE SCREENED WITH A SOLID-TYPE SCREENING CONSISTENT WITH THE ARCHITECTURAL STYLE OF THE BUILDING. 20. ALL WATER AND SEWER PLANS MUST BE APPROVED BY THE ROGERS WATER UTILITY DEPARTMENT PRIOR TO CONSTRUCTION. THIS IS A SEPARATE REVIEW PROCESS AND A PRE-CONSTRUCTION MEETING WILL BE REQUIRED.
- 21. ALL SIGNS WILL REQUIRE SEPARATE PERMITS.
- 22. A PRE-CONSTRUCTION MEETING WITH THE ROGERS BUILDING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- 23. THE ENTIRE DEVELOPMENT MUST COMPLY WITH THE REQUIREMENTS OF THE ROGERS OVERLAY DISTRICT. 24. ALL WELLS AND SEPTIC SYSTEMS MUST BE LOCATED AND ABANDONED BY A STATE-LICENSED AND BONDED DRILLER IN ACCORDANCE WITH STATE
- 25. CONSTRUCTION DEBRIS MUST BE CLEARED FROM ALL STORMWATER STRUCTURES AND VERIFIED BY A SITE INSPECTION FROM THE PLANNING DEPARTMENT
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 26. ALL MECHANICAL, ELECTRICAL AND AIR CONDITIONING EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.
- 27. ACCORDING TO CITY CODE: IT SHALL BE UNLAWFUL FOR ANY PERSON, FIRM OR CORPORATION TO OCCUPY THE IMPROVEMENTS MADE PURSUANT TO THE APPROVED LARGE-SCALE DEVELOPMENT PLAN WITHOUT FIRST OBTAINING A CERTIFICATE OF OCCUPANCY. FAILURE TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE A MISDEMEANOR PUNISHABLE BY A FINE NOT TO EXCEED \$250.00 PER DAY THAT SAID VIOLATION EXISTS.
- 28. PROVIDE THE CITY PLANNER A COMPACT DISK WITH THE AS-BUILT PLANS REFERENCING 2 GPS POINTS TIED TO THE ROGERS MONUMENT SYSTEM AND FORMATTED IN BOTH AUTOCAD 2010 .DWG AND A PDF DOCUMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

OWNERSHIP OF DOCUMENTS

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES. IS THE PROPERTY OF BATES + ASSOCIATES, INC., AND IS NOT TO BE USED. IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES + ASSOCIATES, INC.

SAFETY NOTICE TO CONTRACTOR

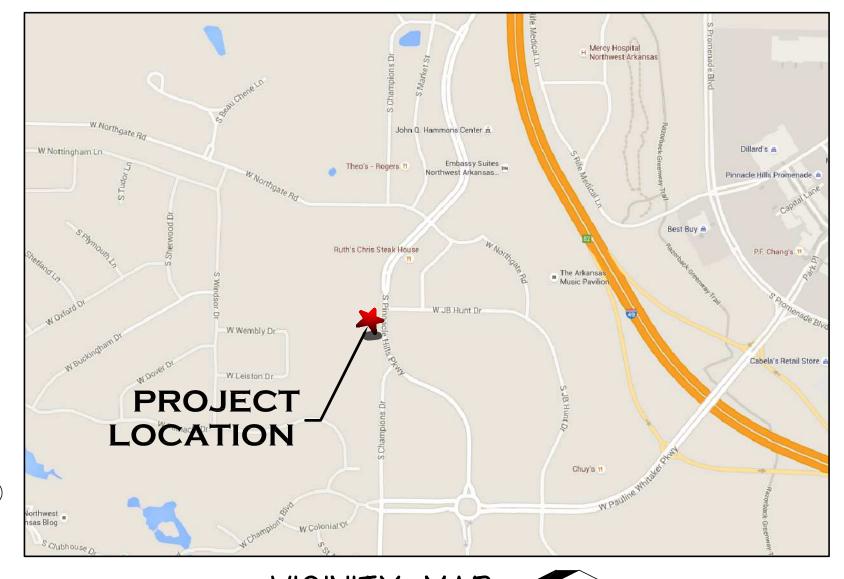
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, OR NEAR THE CONSTRUCTION SITE.



ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.



VICINITY MAP

CONTACT INFORMATION

CITY:	CITY OF ROGERS DERREL SMITH PHONE: (479) 621-1186	SEWER/ WATER	ROGERS WATER UTIL 601 S 2ND ST P.O. BOX 338 ROGERS, AR 72756
FIRE:	ROGERS FIRE DEPARTMENT.		479-621-1142

FIRE 201 N 1ST ST ROGERS, AR 72956 PHONE: (479) 621-1179

SOURCE GAS 655 E. MILLSAP DRIVE FAYETTEVILLE, AR 72703 PHONE: (800) 563-0012

COX COMMUNICATIONS 115 N. DIXIELAND STE. 3 ROGERS, AR 72756 PHONE: (479) 273-5644 TLITIES

INLAND SERVICES 3511 N. ARKANSAS ST ROGERS, AR 72756

(479) 878-1384

BENTONVILLE, AR 72712-0329

PHONE: (479) 273-2421

ELECTRIC: CARROLL ELECTRIC 707 SE WALTON BLVD P.O. BOX 329

FAX: (479) 273-1231 TELEPHONE: SOUTHWESTERN BELL

1-800-464-7928

-BASIS OF ELEVATION:

GPS MONUMENT #26 ELEV: 1234.70

-BASIS OF BEARING:-ARKANSAS STATE PLANE COORDINATES NORTH ZONE

PROMENADE BOULEVARD

THERE ARE NO EXISTING WETLANDS ON THIS SITE.

-BUILDING SETBACKS (R-O)

FRONT WITH PARKING 30' FRONT W/O PARKING 10' SIDE (INTERIOR) SIDE (EXTERIOR) 25' REAR

<u>-FLOOD CERTIFICATION:</u> NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS. (FIRM PANEL #05007C0265K. DATED JUNE 5, 2012)

INDEX OF DRAWINGS

- COVER SHEET
- SITE + UTILITY PLAN
- GRADING + EROSION CONTROL PLAN
- LANDSCAPE PLAN
- DETAILS

PARCEL NUMBER:

02-22774-000

PROJECT SITE ADDRESS: 3724 S. PINNACLE HILLS PARKWAY ROGERS, AR 72758

ZONING CLASSIFICATION: R-O

DAY CARE PROPOSED USE:

TOTAL SITE AREA: 1.89 ACRES +/-

PRIMROSE SCHOOLS FRANCHISING COMPANY OWNER/DEVELOPER:

3660 CEDARCREST ROAD ACWORTH, GEORGIA 30101

ENGINEER/SURVEYOR: BATES & ASSOCIATES, INC.

7230 PLEASANT RIDGE DR. FAYETTEVILLE, AR 72704 PHONE: (479) 442-9350 FAX: (479) 521-9350

- PARKING TABLE:

OFF-STREET PARKING STANDARDS:

DAY CARE FACILITY: 1 SPACE PER 500 FEET OF NET FLOOR AREA + 1 PER FACULTY. (22)

SQUARE FOOTAGE OF PROPOSED BUILDING: TOTAL SPACES REQUIRED: TOTAL SPACES PROVIDED: TOTAL A.D.A. SPACES REQUIRED: TOTAL A.D.A. SPACES PROVIDED:

LOADING SPACE STANDARDS:

LEGAL DESCRIPTION:

R-O: FLOOR AREA OF 5,000-25,000 SQUARE FEET REQUIRES 1 LOADING SPACE

SQUARE FOOTAGE OF PROPOSED BUILDING: 12,200 TOTAL SPACES REQUIRED: TOTAL SPACES PROVIDED: (WAIVER REQUESTED)

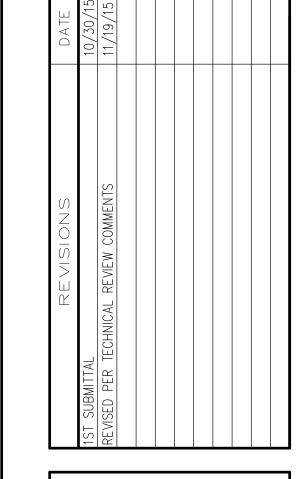
LOT 5A, PINNACLE HILLS OFFICE PARK, A SUBDIVISION TO THE CITY OF ROGERS,

ARKANSAS, AS SHOWN ON PLAT RECORD IN PLAT BOOK 2014 AT PAGE 664, PLAT RECORDS OF BENTON COUNTY, ARKANSAS.

-SURVEYOR NOTES:

- . ENVIRONMENTAL AND SUBSURFACE CONDITIONS WERE NOT EXAMINED AS A PART OF THIS SURVEY.
- 2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, TITLE EVIDENCE, OWNERSHIP, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. ONLY THOSE EASEMENTS SHOWN ON THE RECORD PLAT OF PINNACLE HILLS PARKWAY ADDITION ARE SHOWN HEREON.
- 3. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES, RECORD DRAWINGS PROVIDED TO THE SURVEYOR. NOT ALL UNDERGROUND UTILITIES/STRUCTURES MAY BE SHOWN. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES/STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.
- 4. ALL UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE. CONTRACTOR SHOULD FIELD VERIFY ALL UTILITY LINES PRIOR TO ANY EXCAVATION ON THIS SITE.

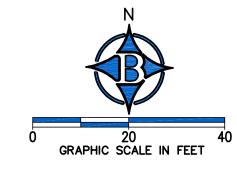
* * * REGISTERED PROFESSIONAL BATES & ASSOCIATES, INC.



CHOOL NT PL PRIMROSE ! S

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SITE AND UTILITY NOTES:

- ALL OUTDOOR LIGHTING SHALL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL FOR COMPLIANCE WITH THE OUTDOOR LIGHTING ORDINANCE.
- 2. ALL MECHANICAL, ELECTRICAL, AND AIR CONDITIONING EQUIPMENT MUST BE SCREEN FROM PUBLIC VIEW.
- 3. ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- 4. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER LITILITIES
- 5. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- 6. TREES MUST BE LOCATED 7.5' FROM PUBLIC UTILITIES.
 7. ALL WATER AND SEWER PLANS MUST BE APPROVED BY THE ROGERS WATER UTILITY DEPARTMENT PRIOR TO CONSTRUCTION.
- 8. ALL SIGNS WILL REQUIRE SEPARATE PERMITS.9. THIS ENTIRE FACILITY MUST COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
- 10. A PRE-CONSTRUCTION MEETING WITH THE ROGERS BUILDING
 DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF BUILDING

11. BACKFLOW PREVENTION DEVICE TO BE LOCATED INSIDE BUILDING.

EXISTING

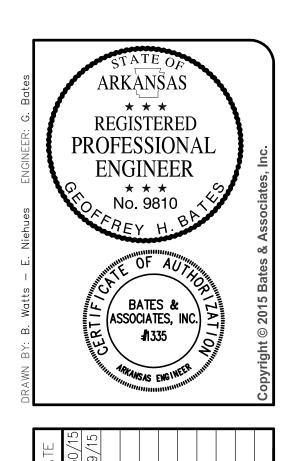
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	F	MONUMENT (CONCRETE) POND POST INDICATOR VALVE POWER POLE PROPERTY LINE (EXTERNAL) RETAINING WALL RIGHT-OF-WAY SANITARY SEWER MANHOLE
	F	MONUMENT (CONCRETE) POND POST INDICATOR VALVE POWER POLE PROPERTY LINE (EXTERNAL) RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE
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© 0°55	© © © © © © © © © © © © © © © © © © ©	MONUMENT (CONCRETE) POND POST INDICATOR VALVE POWER POLE PROPERTY LINE (EXTERNAL) RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE CENTERLINE SIDEWALK STOP SIGN / FLAG POLE SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER MANHOLE STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TREE LINE CANOPY
© 0°ss	© © %*SS — %*SS	MONUMENT (CONCRETE) POND POST INDICATOR VALVE POWER POLE PROPERTY LINE (EXTERNAL) RETAINING WALL RIGHT—OF—WAY SANITARY SEWER MANHOLE SANITARY SEWER PIPE SANITARY SEWER SERVICE CENTERLINE SIDEWALK STOP SIGN / FLAG POLE SPOT ELEVATION STABILIZED CONSTRUCTION ENT. STORM SEWER MANHOLE STORM SEWER PIPE STRIPE (PAINTED OR STICKY) TELEPHONE PED/MANHOLE TELEPHONE (UNDERGROUND) TELEPHONE (OVERHEAD) TREE LINE CANOPY TREE/TREE TO BE REMOVED
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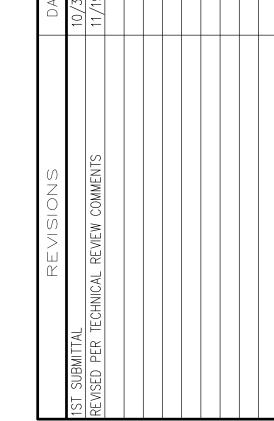
WATER MAIN PIPE
WATER MAIN REDUCER
WATER MAIN THRUST BLOCK

WATER METER

WATER VALVE

WATER METER (IRRIGATION)





PRIMROSE SCHOOL
SITE IMPROVEMENT PLAN
SITE & UTILITY PLAN

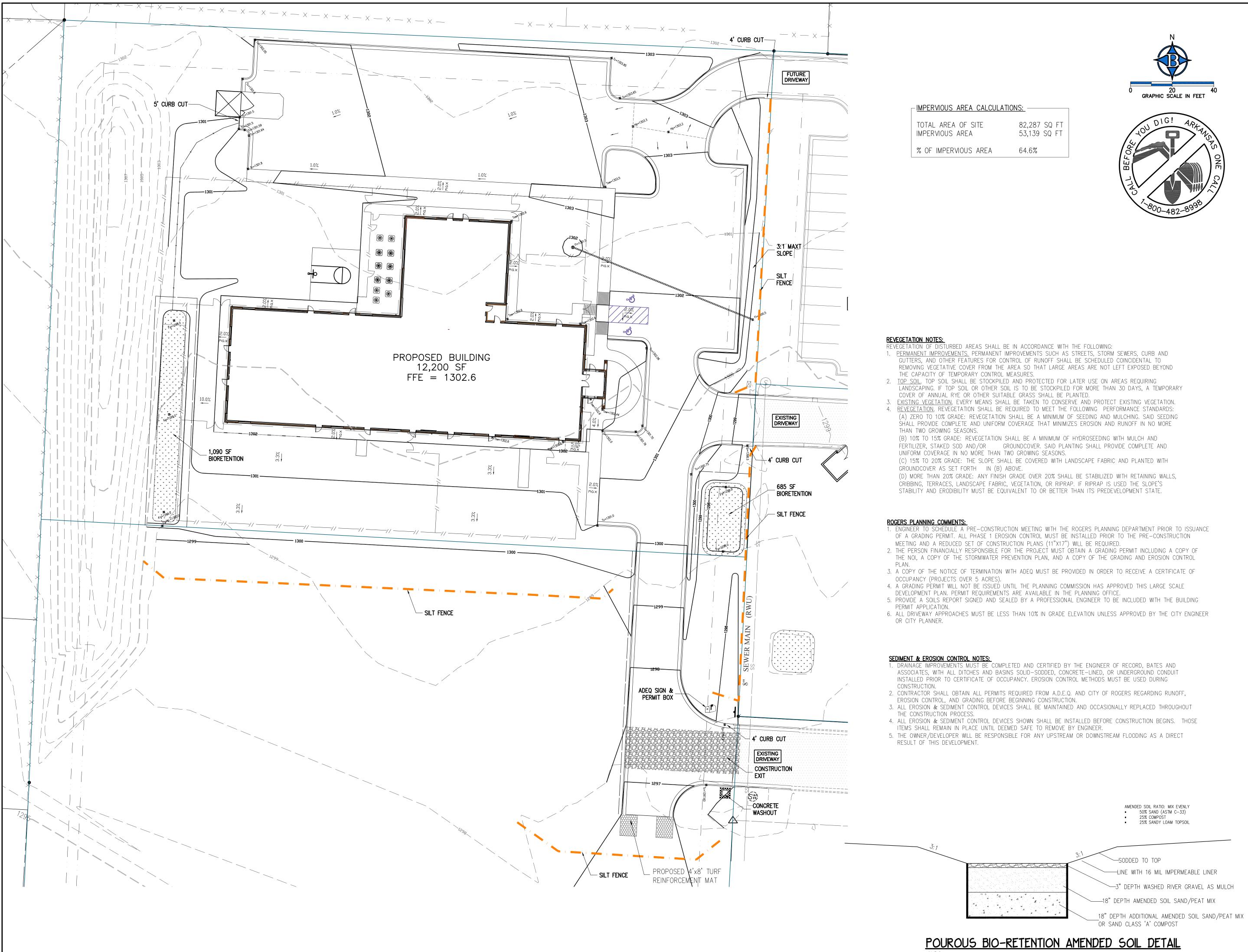
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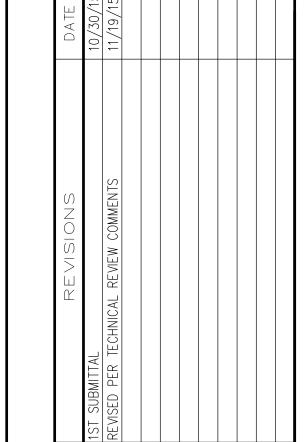
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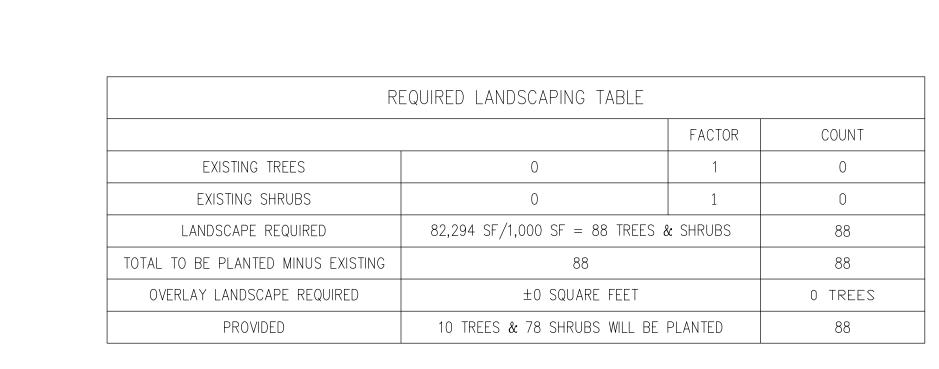


PRIMROSE SCHOOL
SITE IMPROVEMENT PLANS
RADING & EROSION CONTROL PL

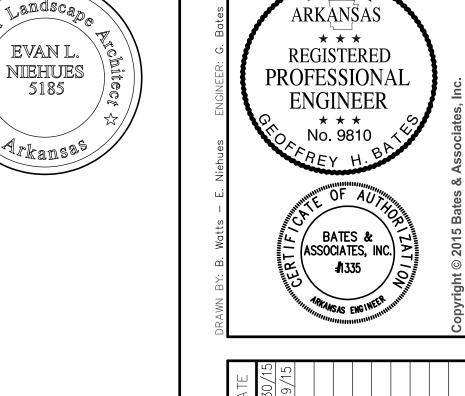
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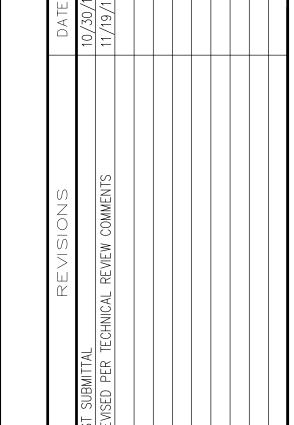
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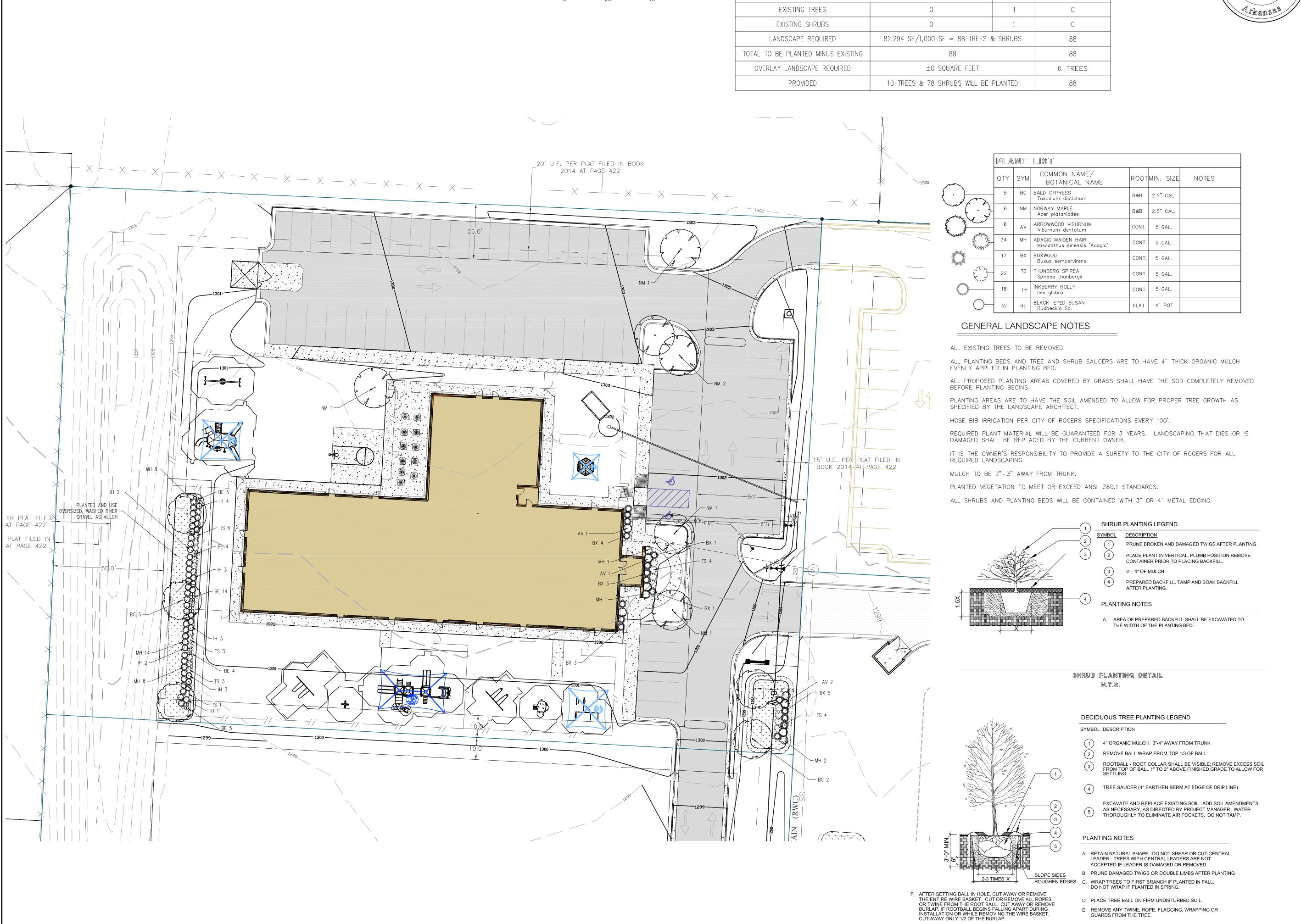


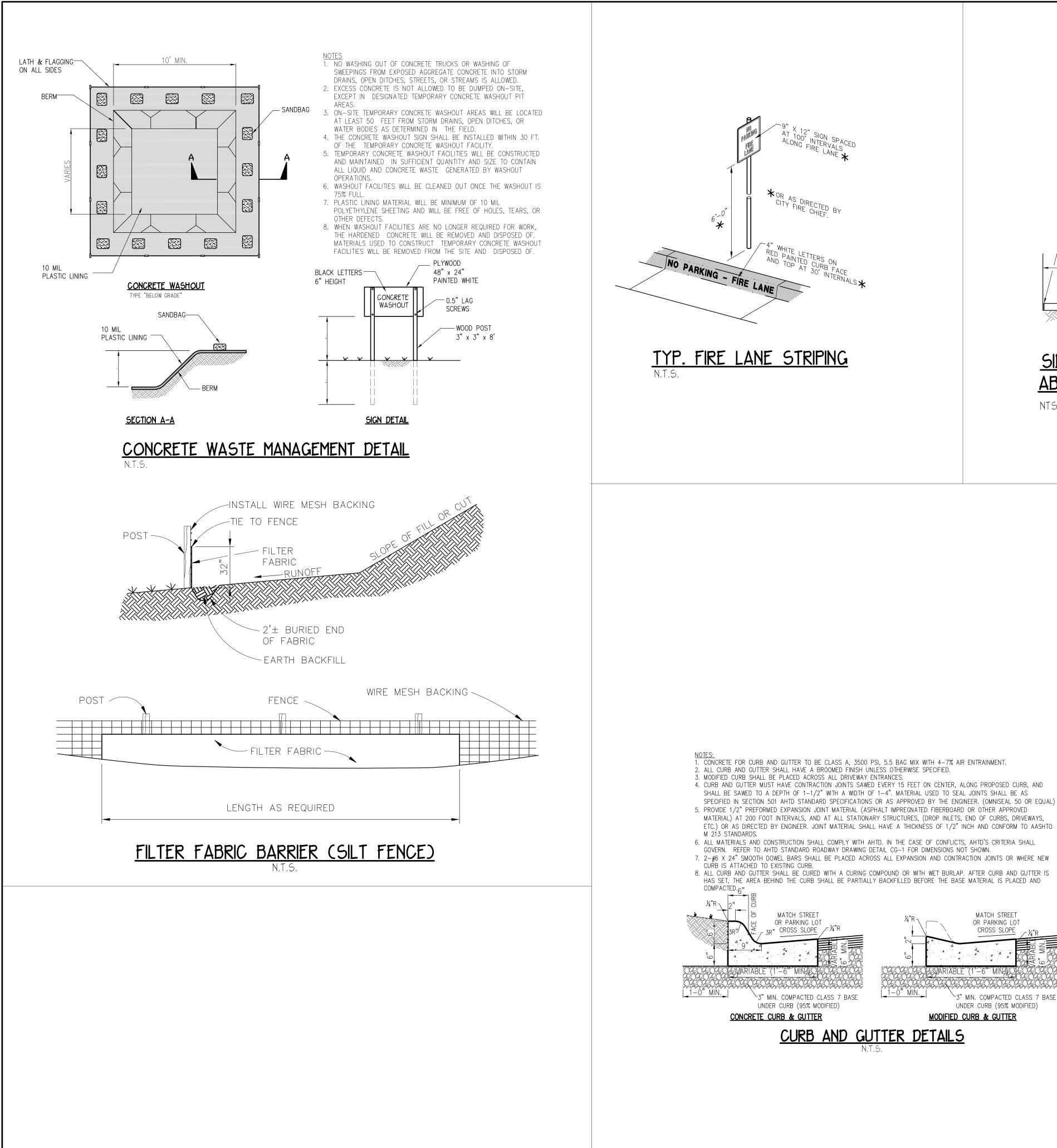


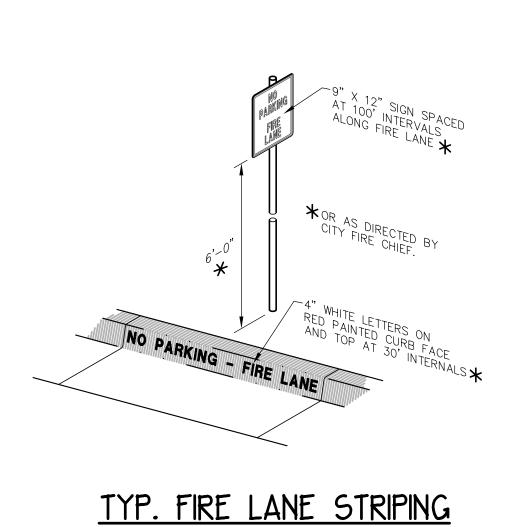


SCHOOL IENT PL/ PRIMROSE S E IMPROVEME LANDSCAPE

TREE PLANTING DETAIL







OR PARKING LOT

~3" MIN. COMPACTED CLASS 7 BASE

CURB AND GUTTER DETAILS
N.T.S.

UNDER CURB (95% MODIFIED)

CONCRETE CURB & GUTTER

PROVIDE 1/2" EXPANSION JOINT WHERE SIDEWALK ABUTS BUILDING OR CONC. PAVEMENT -SEE SITE PLAN SIDEWALK SECTION

ABUTTING BUILDING NTS

MATCH STREET

OR PARKING LOT CROSS SLOPE

-3" MIN. COMPACTED CLASS 7 BASE

UNDER CURB (95% MODIFIED)

MODIFIED CURB & GUTTER

1 1/2" ASPHALTIC CONCRETE HOT MIX SURFACE COURSE 3 1/2" ASPHALTIC CONCRETE HOT MIX BINDER COURSE 6" CLASS 7 AGGREGATE BASE COURSE - 6" COMPACTED SUBGRADE LIGHT DUTY ASPHALT 6" 4000# PC CONCRETE 4" CLASS 7 BASE COURSE ما المُعَامِّةُ عَلَيْهُ اللهِ عَلَيْهِ اللهِ عَلَيْهِ اللهِ عَلَيْهِ اللهِ عَلَيْهِ ا 6" COMPACTED SUBGRADE HEAVY DUTY CONCRETE

PAVEMENT SECTIONS

8" MINIMUM —

CONSTRUCTION EXIT NOTES

3"-6" CLEAN STONE -

1. REPLACE CONTAMINATED STONE AS REQUIRED TO PREVENT TRACKING OF SEDIMENT OR MUD ON PUBLIC STREETS.
2. CLEAN STREETS DAILY WITH BROOM AND SHOVEL. THE USE OF WATER IS PROHIBITED.
3. ALL VEHICLES MUST USE CONSTRUCTION EXIT.

CONSTRUCTION EXIT

GEOTEXTILE UNDERLINER —

* * * REGISTERED **PROFESSIONAL**

ENGINEER

BATES & ASSOCIATES, INC.

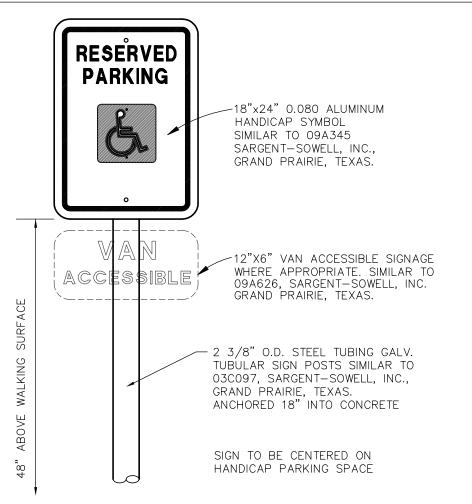
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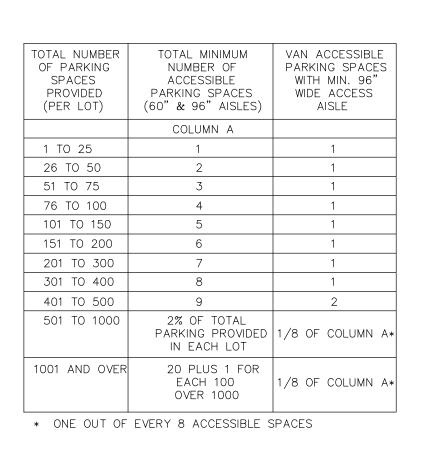
Ф <u>Pattern plan</u> SECTION A-A 2' IN DEPTH AREA TO BE TEXTURED WITH DETECTABLE WARNING DOMES. TYPICAL FOR ALL HANDICAP

NOTES:

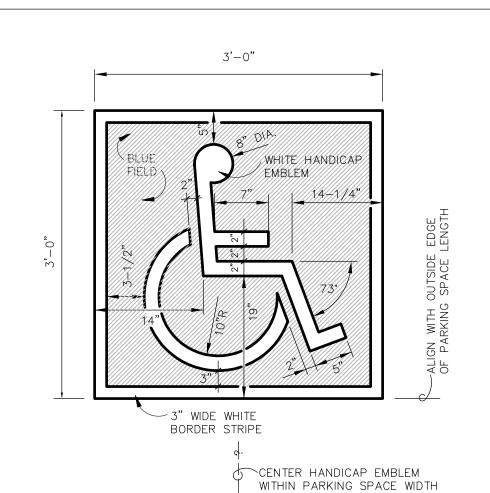
- 1. DETECTABLE WARNING DOMES TO BE LIMITED TO RAMP SURFACES ONLY.
- 2. DETECTABLE WARNING DOME MATERIAL SHALL BE AN INTEGRAL PART OF WALKING SURFACE.
- 3. DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES (LIGHT-ON-DARK OR DARK-ON-LIGHT)
- 4. USE NEENAH DETECTABLE WARNING PLAT R-4984 OR EQUAL. WWW.NFCO.COM
- 5. TYPICAL SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% MAXIMUM.
- 6. HANDICAP RAMPS WILL BE CONSTRUCTED ALONG WITH STREETS.
- 7. DETECTABLE WARNING DOMES SHALL CONSIST OF TRUNCATED DOMES.
- 8. THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.
- 9. THE NORMAL GUTTER SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
- 10. THE MINIMUM THICKNESS FOR THE RAMP, WALK, & LANDING SHALL BE 4".
- 11. 2' OF RAMP TO BE TEXTURED W/ DETECTABLE WARNING DOMES. TYPICAL FOR ALL HANDICAP RAMPS, SEE ADA STANDARDS 4.7.7

HANDICAP RAMP W/DETECTABLE WARNING/TRANSITION TRUNCATED DOMES AMERICANS WITH DISABILITIES ACT (4.7.7)



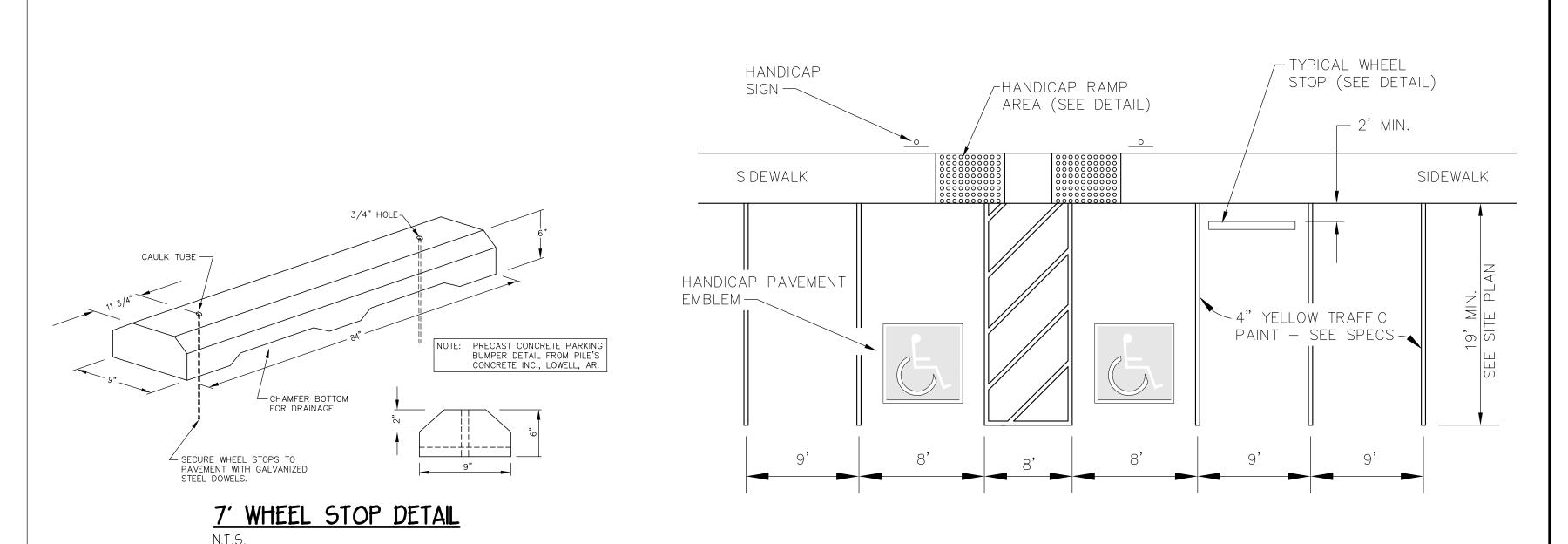


RAMPS, SEE ADA STANDARDS CHA. 4



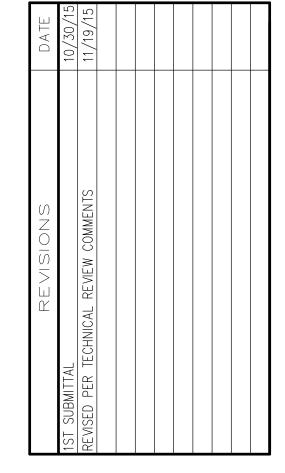






TYP. PARKING STRIPING LAYOUT N.T.S.

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SCHOOL FINT PL/ PRIMROSE S E IMPROVEME SITE DET,

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